

# Exhibits

Revised 26 February, 2013  
Revised 12 August, 2015

**EXHIBIT A-2  
PROPERTY IMPROVEMENT APPLICATION  
Single Family Detached Homes**

Page 1 of 4

**Owner shall complete and provide the following for Single Family Detached Home proposed Improvements:**

- 1. Property Improvement Application – Exhibit A-2
- 2. Architectural Application Checklist – Exhibit B-2
- 3. Three (3) complete copies of your proposed Improvement plans
- 4. Two (2) signed copies of the Water Quality Management – Best Management Practice Guidelines
- 5. Deposit & Fees

**Incomplete applications will not be considered and will be returned.** To assure prompt consideration, review all submittal materials for completeness before sending them to the Design Review Committee. Each submittal for architecture or landscape Improvement must be submitted separately with its own submittal application, documents and associated fee.

Mail or deliver to:

**Portola Springs Community Association**  
 Attn: Design Review Committee  
 Keystone Pacific Property Management  
 16775 Von Karman Avenue, Suite 100  
 Irvine, CA 92606-4960  
 Phone: (949) 838-3239 Fax: (949) 833-0919  
 Email: [architectural@keystonepacific.com](mailto:architectural@keystonepacific.com)

**Submittal #1:**  Architectural Improvements

Landscape Improvements

**Deposit Received**

**Submittal #1 Fee Received**

(Fee covers initial submittal and two (2) revisions to the original plan submitted)

**Revision #1:**  Architectural Improvements

Landscape Improvements

**Revision #2:**  Architectural Improvements

Landscape Improvements

Today's Date: \_\_\_\_\_

Lot #: \_\_\_\_\_

Tract # \_\_\_\_\_

**EXHIBIT A-2**  
**PROPERTY IMPROVEMENT APPLICATION**  
**Single Family Detached Homes**

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Owner's Name: \_\_\_\_\_

Project Name: \_\_\_\_\_

Property Address: \_\_\_\_\_

Builder: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Home Phone #: \_\_\_\_\_

Business Phone #: \_\_\_\_\_

**Additional Requested Revision Submittals:**

Revision #3:  Architectural Improvements

Landscape Improvements

Submittal Fee Received

Revision #4:  Architectural Improvements

Landscape Improvements

Submittal Fee Received

Revision #5:  Architectural Improvements

Landscape Improvements

Submittal Fee Received

**EXHIBIT A-2  
PROPERTY IMPROVEMENT APPLICATION  
Single Family Detached Homes**

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**Owner shall complete the following:**

Architect or Owner's Representative (if applicable):

\_\_\_\_\_  
NAME

\_\_\_\_\_  
COMPANY

\_\_\_\_\_  
PHONE

\_\_\_\_\_  
MAILING ADDRESS

\_\_\_\_\_  
CITY

\_\_\_\_\_  
ZIP

IMPROVEMENT PLANS BEING SUBMITTED: (Please check appropriate items)

Each submittal for architecture or landscape Improvement must be submitted separately with its own submittal application, documents, deposit and submittal fee.

<input type="checkbox"/> ARCHITECTURAL
____ DECK
____ ROOM ADDITION OR EXTENSION
____ CONCEPTUAL REVIEW REQUIRED
____ PAINTING
____ CHIMNEY

<input type="checkbox"/> LANDSCAPE
____ GRADING & DRAINAGE
____ HARDSCAPE & LANDSCAPE STRUCTURES
____ IRRIGATION
____ PLANTINGS
____ EXTERIOR LIGHTING

<input type="checkbox"/> EQUIPMENT
____ PLAY EQUIPMENT
____ POOL & EQUIPMENT
____ SPA & EQUIPMENT
____ FIREPLACE
____ BARBEQUE

OTHER:

**EXHIBIT A-2  
PROPERTY IMPROVEMENT APPLICATION  
Single Family Detached Homes**

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**Do Not Write Below Line. (To Be Completed By Design Review Committee Only)**

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Design Review Committee's response subject to notes on plan and Design Review Committee approval checklist.

- ( ) APPROVED
- ( ) APPROVED WITH CONDITIONS NOTED ON CHECKLIST \_\_\_\_\_  
\_\_\_\_\_
- ( ) DISAPPROVED WITH COMMENTS NOTED ON CHECKLIST \_\_\_\_\_
- ( ) RESUBMIT ITEMS LISTED \_\_\_\_\_  
\_\_\_\_\_
- ( ) INCOMPLETE ITEMS LISTED \_\_\_\_\_  
\_\_\_\_\_

The Design Review Committee has reviewed the proposed Improvements to determine whether they are aesthetically compatible with the architectural scheme of the Community and consistent with the Master Declaration and the Master Association's Design Guidelines. These plans have not been reviewed for constructability, safety, function, views, plant material survivability, privacy, or any and all engineering requirements including, but not limited to, soils, geotechnical, drainage, structural, mechanical or electrical. The Owner is also required to comply with the Master Association's Design Guidelines and the Master Declaration. The Design Review Committee has not considered whether, and its approval does not indicate, that the proposed Improvements are in compliance with applicable laws and ordinances. The Owner must obtain all necessary building permits for all Improvements from the City of Irvine. By approving such plans and specifications, the Design Review Committee, the members thereof, the Master Association, the Board, Declarant, and all agents, employees, attorneys or consultants of any of the foregoing, do not assume liability or responsibility therefor, or for any defect in any Improvements constructed from such plans and specifications or for any obstruction or impairment of view caused or created as the result of any Improvements approved by the Design Review Committee.

DESIGN REVIEW COMMITTEE SIGNATURE

\_\_\_\_\_ Date: \_\_\_\_\_

NOTE: It is recommended that the Owner withhold a retention their contractor through approval of Notice of completion.

**EXHIBIT B-2  
SUBMITTAL APPLICATION CHECKLIST  
Single Family Detached Homes**

Page 1 of 2

**This checklist shall be completed by the Owner** and be attached to the Design Review Committee Property Improvement Application. Failure to complete and include this checklist will cause the submittal application to be deemed an incomplete submittal. All incomplete submittals will be returned without review by the Committee.

**SINGLE FAMILY DETACHED HOMES (MASTER ASSOCIATION)**

**DEPOSITS** Collected at the time of plan submission. A check made payable to the “Portola Springs Community Association” is required.

\_\_\_\_\_ \$1,000.00 – Improvement Security Deposit (covers non-compliance or damages incurred)

**SUBMITTAL FEES** Collected at the time of plan submission. A check made payable to the “Portola Springs Community Association” is required.

\_\_\_\_\_ \$300.00 - Single Family Detached Homes - Landscape/General Resubmittal Review Fee (Includes initial review and two (2) resubmittals)  
Each Additional Resubmittal Beyond 3<sup>rd</sup> Review will require payment of an additional \$150.00 Resubmittal Review Fee

\_\_\_\_\_ \$600.00 - Single Family Detached Homes - Room Addition/Remodel Review Fee (Includes initial review and two (2) resubmittals)  
Each Additional Resubmittal Beyond 2<sup>nd</sup> Review will require payment of an additional \$300.00 Addition / Remodel Review Fee

\_\_\_\_\_ \$150.00 – Each Request to Revise during Construction (Required for each review following ‘Approved or Approved with Conditions’)

\_\_\_\_\_ \$100.00 – Each Variance Application / Appeal Application (see exhibit “E”)

\_\_\_\_\_ \$150.00 – Concept review fee for architectural additions/extensions

\_\_\_\_\_ \$75.00 – Solar Review

**A description of what must be included on each of the drawings required below may be found in the Design Guidelines.**

**Note: Deposits and Fees are subject to change from time to time as deemed necessary by the Master Association.**

**OWNER’S SIGNATURE REGARDING DESIGN REVIEW COMMITTEE APPROVAL**

**I UNDERSTAND AND AGREE THAT:**

No work any Improvement described on my Property Improvement Application request shall commence until written approval of the Design Review Committee has been received. The conditions and restrictions noted in the Design Guidelines and Master Declaration shall apply to any approval. Installation of all approved Improvements shall be at no cost whatsoever to the Master Association. Any further maintenance shall be the responsibility of the applying Owner, his or her heirs and assigns. The Owner of any Lot shall comply with the Master Declaration for completion of all property Improvements, landscaping and alterations. Owner shall complete all landscape Improvements within three hundred sixty-five (365) days of close of escrow for the Owner’s Lot.

SIGNATURE: \_\_\_\_\_  
OWNER

\_\_\_\_\_  
DATE

**EXHIBIT B-2**  
**ARCHITECTURAL APPLICATION CHECKLIST**  
**Single Family Detached Homes**

Page 2 of 2

**PART I - ALL IMPROVEMENTS**

This part lists the submittal requirements of ALL IMPROVEMENTS, which must be included with any and all submittal requests.

- \_\_\_\_\_ Completed Design Review Committee Application – Exhibit A-2
- \_\_\_\_\_ DRC Architectural Application Checklist – Exhibit B-2
- \_\_\_\_\_ Plot Plan; drawn to scale at 1/8" = 1'-0" or 1/4" = 1'-0"
- \_\_\_\_\_ Two (2) signed copies of the Water Quality Management – Best Management Practice Guidelines

**PART II - LANDSCAPE IMPROVEMENTS**

This part must be completed by each applying Owner for Improvements involving all landscaping on his/her Lot (grading, drainage, hardscape, irrigation, plumbing and lighting).

- \_\_\_\_\_ Site Photos
- \_\_\_\_\_ Landscape Construction Plan and Details
- \_\_\_\_\_ Grading and Drainage Plan
- \_\_\_\_\_ Irrigation Plan or Notes
- \_\_\_\_\_ Planting Plan
- \_\_\_\_\_ Landscape Lighting Plan

**PART III - ARCHITECTURAL IMPROVEMENTS**

This part must be completed by each applying Owner for Improvements involving all architectural Improvements on Owner's Lot (e.g., room additions).

- \_\_\_\_\_ Site Photos
- \_\_\_\_\_ Exterior Elevations/Building Sections
- \_\_\_\_\_ Floor Plan (must be included on a Plot Plan)
- \_\_\_\_\_ Roof Plan
- \_\_\_\_\_ Finish and Materials Schedule

EXHIBIT C
DRC APPROVAL FORM

To be completed by the Homeowner:

Date: Lot and Tract # Unit #
Name: Project Name:
Address: Builder:
Phone: Email:

To be completed by Design Review Committee:

The Design Review Committee has reviewed the proposed Improvements to determine whether they are aesthetically compatible with the architectural scheme of the Community and consistent with the Master Declaration and the Association's Design Guidelines. These plans have not been reviewed for construction, safety, function, views, plant material survivability, privacy, or any and all engineering requirements including, but not limited to, soils, geotechnical, drainage, structural, mechanical or electrical. The Owner understands that he/she must comply with the Association's Design Guidelines and the Master Declaration. The Design Review Committee has not considered whether, and its approval does not indicate that, the proposed Improvements are in compliance with applicable laws, ordinances, regulations and codes. The Owner must obtain all necessary building permits for all structures and other Improvements from the applicable public agency. Please be advised that the plans and specifications are not approved for (a) engineering design, (b) compliance with zoning and building codes, and other applicable statutes, ordinances or governmental rules or regulations, (c) compliance with the requirements of any public utility, (d) consistency with easements or other matters of record, or (e) preservation of any view. By approving such plans and specifications, the Design Review Committee, the members thereof, the Association, the Board, Declarant, the Merchant Builder and their respective agents, employees and consultants do not assume any liability or responsibility relating thereto (including, without limitation, any defect in any Improvements constructed from such plans and specifications, or for any obstruction or impairment of view caused or created as the result of any Improvements approved by the Design Review Committee).

Sincerely,

Portola Springs Community Association

DRC Authorized Representative Signature

Date



EXHIBIT D
DRC NOTICE OF COMPLETION FORM

Page 1 of 2

SUB NO. 1
SUB NO. 2

Owner shall complete the following:

I hereby certify that all work has been completed and done in substantial compliance with the approved plans and specifications and the Design Guidelines.

Date: Lot/Condominium and Tract #
Name: Project Name:
Address: Builder:
Signature:

Type of Work: Architecture Landscape Hardscape Pool/Spa/Water Feature
(Please check one or more) Patio Cover Lighting Other

SUBMIT PHOTOGRAPHS OF ALL INSTALLED PROJECT IMPROVEMENTS INCLUDING: DRAIN INLETS, HARDSCAPE- WHICH INCLUDES ALL PAVING, WALLS, PILASTERS, FLASH WALLS, BARBECUES, FIREPLACES, PATIO COVERS, GATES, FOUNTAINS, POOLS AND SPAS, LIGHT FIXTURES, FRONT AND REAR ARCHITECTURAL ELEVATIONS, SETBACKS, EQUIPMENT AREAS AND ALL ANCHOR, SCREEN, AND ACCENT TREES/PLANTINGS, AND SHRUB AND GROUNDCOVER PLANTING. HARD COPY, COLOR PHOTOGRAPHS (4x6 MIN.) MUST BE PROVIDED BY THE OWNER, ELECTRONIC DELIVERY IS NOT PERMITTED.

PLEASE NOTE THAT IF THE SUBMITTED PHOTOGRAPHS DO NOT CLEARLY REPRESENT ALL PROJECT IMPROVEMENTS, AN ON-SITE FIELD VISIT WILL BE REQUIRED AT AN ADDITIONAL FEE OF \$250.00.

(DO NOT WRITE BELOW THIS LINE)

The Design Review Committee conducted the Final Inspection by:

Reviewing the Owner-submitted photographs Conducting a site visit

The Design Review Committee recommends the following:

APPROVED: Final inspection is complete and the Improvements are in substantial conformance with the approved plans and the Design Guidelines.

DISAPPROVED: The Improvements are not in substantial conformance with the approved plans, specifications and/or Design Guidelines. The Owner must complete/modify/remove the items noted below on Exhibit D, page 2. After all items have been corrected, submit to the Property Manager photographs of revised construction.

Portola Springs Design Review Committee

DRC Authorized Representative Signature Date

**EXHIBIT D  
DRC NOTICE OF COMPLETION FORM**

Page 2 of 2

Lot No. / Tract No.: \_\_\_\_\_

Improvements to be removed or modified by Owner:

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[If no Improvements must be removed or modified, insert "None."]

**EXHIBIT E  
VARIANCE REQUEST FOR BOARD-APPROVED DESIGN GUIDELINES EXCEPTION**

**Owner shall complete the following:**

Date: \_\_\_\_\_ Lot and Tract # \_\_\_\_\_  
 Owner: \_\_\_\_\_ Project Name: \_\_\_\_\_  
 Lot Address: \_\_\_\_\_  
 Home Phone: \_\_\_\_\_ Work Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_  
 Signature: \_\_\_\_\_

**Note: Include with the submittal of the Variance Request Form the Variance Fee pursuant the Application Checklist (Exhibit B-1 or B-2).**

**Description of Request** (Please include drawings, photographs and a description of your special circumstance for the Board's review):

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**DO NOT WRITE BELOW THIS LINE**

Disapproved as presented                       Approved as presented                       Approved as revised

Board Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Board Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Board Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**Please allow sixty (60) days for review. You will be notified in writing of the Board's decision.**

## EXHIBIT F LANDSCAPE PALETTE

Page 1 of 6

The following Community plant palette is preliminary. Plant materials of similar character may be substituted pending DRC approval. Please note that Deciduous trees are not permitted adjacent to Association Property or adjoining Dwellings or Private Yards.

### TREES:

<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>
Acacia sp.	Acacia	Melaleuca linarifolia	Flaxleaf Paperbark
Agonis flexuosa	Peppermint Tree	Melaleuca quinquenervia	Cajeput Tree
Arbutus sp,	Strawberry Tree	Metrosideros excelsus	New Zealand Christmas Tree
Avocado varieties	Avocado	Michelia doltsopa	NCN
Bauhinia sp.	Orchid Tree	Olea europaea	Olive
Betula sp.	Birch Tree	Pinus eldarica	Afghan Pine
Brachychiton sp.	Bottle Tree	Pinus halepensis	Aleppo Pine
Callistemon viminalis	Weeping Bottle Brush	Pinus pinea	Italian Stone Pine
Calodendrum capense	Cape Chestnut	Pistachia chinensis	Pistache
Cinnamomum camphora	Camphor Tree	Pittosporum sp.	Pittosporum
Cupaniopsis anacardioides	Carrotwood Tree	Platanus sp.	Plane Tree, Sycamore
Elaeocarpus decipiens	Japanese Blueberry Tree	Podocarpus gracilior	Fern Pine
Eriobotrya sp.	Loquat	Pinus thunbergia	Japanese Black Pine
Eucalyptus nicholii	Nichol's Willow	Prunus caroliniana	Carolina Laurel Cherry
Eucalyptus sideroxylon 'Rosea'	Red Iron Bark	Prunus 'Krauter Vesuvius'	Purple Leaf Plum
Ficus benjamina	Weeping Fig	Prunus lyonii	Catalina Cherry
Ficus r. 'Florida'	NCN	Pyrus calleryana	Ornamental Pear
Geijera parviflora	Australian Willow	Quercus ilex	Holly Oak
Hymenosporum flavum	Sweet Shade	Quercus suber	Cork Oak
Ilex sp.	Holly	Quercus virginiana	Southern Live Oak
Jacaranda mimosifolia	NCN	Rhus lancea	African Sumac
Koelreuteria sp.	NCN	Shinus molle	California Pepper Tree
Lagerstroemia indica	Crape Myrtle	Stenocarpus sinuatus	Firewheel Tree
Laurus nobilis	Sweet Bay	Syzygium paniculatum	Brush Cherry
Ligustrum lucidum	Glossy Privet	Tipuana tipu	Tipu Tree
Liquidambar styraciflua	Sweet Gum	Tristania sp.	Brisbane Box
Magnolia sp.	Magnolia	Ulmus parvifolia	Chinese Evergreen Elm
Maytenus boaria	Mayten Tree		

**EXHIBIT F  
LANDSCAPE PALETTE**

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**SMALL REAR YARD TREE LIST:**

<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>
Agonis flexuosa	Peppermint Tree
Arbutus menziesii	Madrone
Arbutus unedo	Strawberry Tree
Bauhinia sp.	Orchid Tree
Betula sp.	Birch Tree
Bauhinia blakeana	Hong Kong Orchid Tree
Brachychiton populneus	Bottle Tree
Callistemon viminalis	Weeping Bottle Brush
Crinodendrom patagua	Lily of The Valley
Cupaniopsis anacardioides	Carrotwood Tree
Cupressus sempervirens	Italian Cypress
Elaeocarpus decipiens	Japanese Blueberry Tree
Eriobotrya "Coppertone"	Coppertone Loquat
Eriobotrya "Deflexa"	Bronze Loquat
Eriobotrya japonica	Japanese Loquat
Eucalyptus nicholii	Nichol's Willow
Eucalyptus ficifolia	Red Flowering Gum
Feijoa sellowiana	Pineapple Guava
Geijera parviflora	Australian Willow
Hymenosporum flavum	Sweet Shade
Ilex sp.	Holly
Lagerstroemia indica	Crape Myrtle
Laurus nobilis	Bay Laurel
Ligustrum lucidum	Glossy Privet
Magnolia grandiflora "Little Gem"	Little Gem So. Magnolia
Maytenus boaria	Mayten Tree
Melaleuca quinquenervia	Cajeput
Metrosideros excelsus	New Zealand Christmas Tree
Olea Europaea "Varieties"	Dwarf Fruitless Olive
Pinus thunbergia	Japanese Black Pine

**SMALL REAR YARD TREE LIST:**

<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>
Pittosporum rhombifolium	Queensland Pittosporum
Pittosporum undulatum	Victorian Box
Podocarpus gracilior	Fern Pine
Prunus caroliniana	Carolina Laurel Cherry
Prunus cerasifera 'Varieties'	Purple Leaf Plum
Pyrus calleryana	Ornamental Pear
Rhaphioepis 'Majestic Beauty'	NCN
Rhus lancea	African Sumac
Strelitzia nicolai	Giant Bird of Paradise
Tristania laurina	Brisbane Box

**VERTICAL EVERGREEN SCREEN TREE LIST:**

<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>
Brachychiton populneus	Bottle Tree
Magnolia grandiflora "Little Gem"	Little Gem So. Magnolia
Magnolia grandiflora "St. Marys"	St. Mary's Magnolia
Melaleuca quinquenervia	Cajeput Tree
Podocarpus gracilior.	Fern Pine
Prunus caroliniana	Carolina Laurel Cherry
Strelitzia nicolai	Giant Bird of Paradise
Tristania laurina	Brisbane Box

**EXHIBIT F  
LANDSCAPE PALETTE**

Page 3 of 6

**TALL VERTICAL EVERGREEN SCREEN HEDGE:**

(Acceptable to install in 2' planting areas)

<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>
Bamboo sp.	Clumping Dwarf Bamboo
Cypress sempervirens 'Tiny Tower'	Italian Cypress
Juniperus sp. 'Columnar'	Juniper
Ligustrum sp.	Privet
Photinia fraseri	Fraser's Photinia
Podocarpus sp. 'Low Branching'	Fern Pine, Yew Pine
Prunus caroliniana 'Columnar'	Carolina Laurel Cherry
Strelitzia nicolai	Giant Bird of Paradise
Ficus m. 'Natida' 'Columnar'	Nitida Fig (must include linear root barrier)

**ACCENT TREES:**

Note: Accent trees do not satisfy front yard, side yard, or rear yard screen tree or anchor tree requirements.

<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>
Aloe arborescens	Tree Aloe
Beaucarnea recurvata	Ponytail Bottle Palm
Citrus species	Citrus
Cordyline sp.	Dracena
Cupressus sempervirens	Italian Cypress
Dracaena draco	Dragon Tree
Feijoa sellowiana	Pineapple Guava
Leptospermum laevigatum	Australian Tea Tree
Melaleuca nesophila	Pink Melaleuca
Rhaphiolepis 'Majestic Beauty'	NCN
Strelitzia nicolai	Giant Bird of Paradise

**PALMS:**

14' Brown Trunk Height (BTH) maximum at installation. BTH is measured from the ground line to the base of the heart frond.

<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>
Archontophoenix cunninghamiana	King Palm
Arecastrum romanzoffianum	Queen Palm
Brahea sp.	Guadalupe Fan Palm
Chamaerops humilis	Med. Fan Palm
Howea forsterana	Paradise Palm
Phoenix canariensis	Canary Island Palm
Phoenix dactylifera	Date Palm
Phoenix roebelenii	Pigmy Date Palm
Rhapis excelsa	Lady Palm
Washingtonia filifera	California Fan Palm

## EXHIBIT F LANDSCAPE PALETTE

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### SHRUBS and GROUNDCOVERS:

<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>
Acanthus mollis	Bears Breech	Dietes vegeta	African Iris
Agapanthus sp.	Lily-of-the-Nile	Diplacus aurtantiacus	Monkey Flower
Agave sp.	Agave	Dodonea viscosa	Hopseed Bush
Aloe sp.	Aloe	Echeveria species	Hen & Chicks
Alyogyne huegelii	Blue Hibiscus	Echium fastuosum	Pride of Madeira
Anigozanthus flavidus	Kangaroo Paw	Elaeagnus pungens	Silverberry
Arbutus unedo 'Compacta'	Compact Strawberry Tree	Encelia californica	California Encelia
Arctostaphylos sp.	Manzanita	Eriobotrya sp.	Loquat
Artemesia sp.	Artemesia	Escallonia sp.	Escallonia
Asparagus d. 'Sprengeri'	Ornamental Asparagus	Euonymus sp.	Euonymus
Azalea varieties	Azalea	Feijoa sellowiana	Pineapple Guava
Baccharis pilularis 'Twin Peaks'	Dwarf Coyote Brush	Festuca californica	California Fescue
Baccharis 'Starn Thompson'	Thompson Broom	Festuca mairei	Mairei Fescue
Billergia nutans	Nutans Billbergia	Festuca ovina glauca	Fescue
Bougainvillea sp.	Bougainvillea	Gardenia sp.	Gardenia
Buddleia davidii	Butterfly Bush	Geranium species	Geranium
Buxus sp.	Boxwood	Grevillea banksii	Grevillea
Calliandra sp.	NCN	Hakea suaveolens	Sweet Hakea
Camellia sasanqua	Camellia	Hedera helix 'Hahns'	Hahn's Ivy
Carissa sp.	Natal Plum	Helictotrichon sempervirens	Blue Oat Grass
Ceanothus sp.	California Lilac	Hemerocallis hybrid	Day Lily
Cestrum nocturnum	Night Blooming Jasmine	Hesperaloe parviflora	NCN
Cistus sp.	Rock Rose	Heteromeles arbutifolia	Toyon
Citrus sp.	Citrus sp.	Heuchera sp.	Coral Bells
Cocculus laurifolius	Laurel Leaf Snail Seed	Hibiscus rosa-sinensis	Hibiscus
Colocasia esculenta	Elephants Ear	Hydrangea sp.	Hydrangea
Convolvulus cneorum	Bush Morning Glory	Ilex sp.	Holly
Coprosma sp.	Coprosma	Iris douglasiana	Douglas Iris
Cotoneaster species	Cotoneaster	Jasminum sp.	Jasmine
Crassula argentea	Jade Plant	Juniperus sp.	Juniper
Cyperus papyrus	NCN	Kalanchoe thyrsiflora	Kalanchoe

## EXHIBIT F LANDSCAPE PALETTE

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### SHRUBS and GROUNDCOVERS: (Continued)

<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>
Kniphofia uvaria	Kniphofia	Prunus sp.	Flowering Plum
Lantana montevidensis	Trailing Lantana	Punica granatum	Pomogranate
Lavandula species	Lavender	Pyracantha sp.	Pyracantha
Lavatera assurgentiflora	Tree Mallow	Rhamnus californica	Coffeeberry
Laurus nobilis	Sweet Bay	Rhaphiolepis species	India Hawthorn
Leonotis leonurus	Lions Tail	Rhus sp.	Sumac
Ligustrum texanum	Texas Privet	Ribes viburnifolium	Evergreen Currant
Limonium perezii	Statice	Rosa sp.	Rose
Liriope species	Lily Turf	Rosa 'Flower Carpet'	Carpet Rose
Lonicera japonica 'Halliana'	Hall's Honeysuckle	Rosmarinus sp.	Rosemary
Mahonia sp.	Mahonia	Salvia sp.	Sage
Myoporum pacificum	Prostrate Myoporum	Scaveola sp.	NCN
Myrtus communis 'Compacta'	True Myrtle	Sedum sp.	NCN
Nephrolepis exaltata	Boston Sword Fern	Senecio serpens 'Silver Carpet'	NCN
Ophiopogon japonicus	Lily Turf	Stachys byzantina	Lambs Ears
Opuntia basilaris	Beavertail Cactus	Strelitzia reginae	Bird of Paradise
Osmanthus fragrans	Sweet Olive	Syzygium paniculatum	Brush Cherry
Pelargonium species	Ivy Geranium	Taxus sp.	Yew
Pennisetum m. rubrum	Red Fountain Grass	Taxus baccata	English Yew
Penstemon species	Beard Tongue	Tecomaria capensis	Cape Honeysuckle
Philodendron selloum	Split Leaf Philodendron	Ternstroemia japonica	Ternstroemia
Photinia fraseri	Fraser's Photinia	Trachelospermum jasminoides	Star Jasmine
Pittosporum species	Mock Orange	Viburnum species	Viburnum
Plumbago auriculata	Cape Plumbago	Vinca Major	Periwinkle
Plumbago capensis	Cape Honeysuckle	Yucca sp.	NCN
Podocarpus macrophylla	Yew Pine	Xylosma species	Xylosma



**EXHIBIT F**  
**LANDSCAPE PALETTE**

Page 6 of 6

**VINES and ESPALIERS:**

<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>
Beaumontia grandiflora	Easter Lily Vine
Bougainvillea species	Bougainvillea
Clematis armandii	Evergreen Clematis
Clytostoma callistegioides	Violet Trumpet Vine
Distictus buccinatoria	Red Trumpet Vine
Ficus pumila	Creeping Fig
Gelsemium sempervirens	Carolina Jessamine
Grewia caffra	Lavender Star Flower
Hardenbergia violacea	Lilac Vine
Hibbertia scandens	Guinea Gold Vine
Jasminum species	Jasmine
Lonicera species	Honeysuckle
Macfadyena unguis-cati	Cat's Claw
Mandevilla 'Alice Du Pont'	NCN
Pandorea jasminoides	Bower Vine
Parthenocissus tricuspidata	Boston Ivy
Passiflora sp.	Passion Vine
Plumbago auriculata	Cape Plumbago
Podranea ricasoliana	Pink Trumpet Vine
Polygonum aubertii	Silver Lace Vine
Pyrostegia venusta	Flame Vine
Rhoicissus capensis	Evergreen Grape
Rosa varieties	Climbing Rose
Solandra maxima	Cup of Gold Vine
Solanum jasminoides	Potato Vine
Stephanotis floribunda	Madagascar Jasmine
Stigmaphyllon ciliatum	Orchid Vine
Tecomaria capensis	Cape Honeysuckle
Wisteria sp.	Wisteria

**TURF:**

Marathon II sod or seed or equal  
Bonsai Fescue sod or seed or equal

**SYNTHETIC TURF:**

- a) Boone Action Turf
  - Irvine Fescue One
  - Base Hit 55
  - Base Hit 85

Boone Action Turf (B.A.T.)  
1700 N. Main Street, Orange, CA 92865  
(888) 589-8873  
booneactionturf.com
- b) Pro Green Synthetic Grass
  - Natural Real 80
  - Natural Real 60
  - Natural Real 50

AmeriTurf Systems  
11710 Chisholm Court, Santa Clarita, CA 91390  
(888) 922-3083  
progreen.com
- c) Tiger Turf
  - Diamond Pro Fescue
  - Diamond Pro Spring
  - Diamond Supreme Fescue
  - Diamond Supreme Spring

Synthetic Grass Warehouse  
1400 N. Daly Street, Anaheim, CA 92806  
(800) 730-2675  
syntheticgrasswarehouse.com

**EXHIBIT G-1  
ATTACHED CONDOMINIUM HOMES “IMPROVEMENT SUMMARY REQUIREMENT TABLE”**

IMPROVEMENT	SETBACK / NOTES	HEIGHT
Flooring Materials Sound Attenuation	<ul style="list-style-type: none"> <li>Consult the appropriate Sales Agreement document(s)/exhibit(s) for specific restrictions.</li> </ul>	NA
Existing Grading	<ul style="list-style-type: none"> <li>No change in grade is permitted.</li> </ul>	NA
Raised Planter (Retaining Walls)	<ul style="list-style-type: none"> <li>Not permitted.</li> </ul>	NA
On-Site Freestanding Walls	<ul style="list-style-type: none"> <li>3’ from any existing privacy or dwelling wall</li> </ul>	<ul style="list-style-type: none"> <li>Shall not exceed the height of the existing privacy wall</li> </ul>
Flatwork	<ul style="list-style-type: none"> <li>No changes to Association maintained or enhanced flatwork installed by the Builder.</li> <li>For exclusive use areas, flatwork must be compatible with the Architecture.</li> <li>Where the depth of the area is 10’ or greater, flatwork must be setback 2’ from the privacy wall.</li> </ul>	<ul style="list-style-type: none"> <li>6” maximum above original pad grade</li> <li>Shall not cover the weep screed.</li> </ul>
Fences / Gates	<ul style="list-style-type: none"> <li>Not permitted.</li> </ul>	NA
Swimming Pools / Spas	<ul style="list-style-type: none"> <li>Swimming Pools are not permitted.</li> <li>Spas (in-ground or above) are permitted with a 3’ clear setback from privacy walls or adjoining Dwellings.</li> </ul>	NA <ul style="list-style-type: none"> <li>3’ from original pad grade for above ground spas</li> </ul>
Spa Equipment	<ul style="list-style-type: none"> <li>2’ setback from privacy walls; 5’ setback from adjoining Dwellings.</li> </ul>	
Fireplaces	<ul style="list-style-type: none"> <li>Not Permitted.</li> </ul>	NA
Barbecues	<ul style="list-style-type: none"> <li>Fixed / permanent barbecues are not permitted in units with privacy walls less than 5’ in height.</li> <li>Fixed / permanent barbecues are permitted in units with solid perimeter walls that are 5’ or greater in height, setback 1” min. from perimeter walls or per City requirements.</li> <li>Portable propane fueled barbecues are permitted.</li> </ul>	NA
Play Equipment	<ul style="list-style-type: none"> <li>Basketball backboards are not permitted.</li> <li>* Permitted in exclusive use Areas</li> </ul>	<ul style="list-style-type: none"> <li>* Play Equipt. may not exceed height of existing adjoining or adjacent privacy Builder-installed patio walls.</li> </ul>
Patio Structures	<ul style="list-style-type: none"> <li>Not permitted. (Only Merchant Builder structures are permitted.)</li> </ul>	NA

**EXHIBIT G-1  
ATTACHED CONDOMINIUM HOMES “IMPROVEMENT SUMMARY REQUIREMENT TABLE”**

IMPROVEMENT	SETBACK / NOTES	HEIGHT
Freestanding Vine Trellis's	<ul style="list-style-type: none"> <li>• * Permitted in exclusive use areas, 2' setback from perimeter walls &amp;/or adjoining Dwellings.</li> </ul>	<ul style="list-style-type: none"> <li>• * 8' maximum.</li> </ul>
Espaliers	<ul style="list-style-type: none"> <li>• * Permitted with non-penetrating attachment devices to wall face.</li> </ul>	<ul style="list-style-type: none"> <li>• * May not exceed height of existing adjoining or adjacent privacy Builder-installed patio walls.</li> </ul>
Fountains / Garden Art / Statuary	<ul style="list-style-type: none"> <li>• * Permitted in Private-use Areas, 1' setback from perimeter walls &amp;/or adjoining Dwellings.</li> </ul>	<ul style="list-style-type: none"> <li>• * May not exceed height of existing adjoining or adjacent privacy Builder-installed patio walls or 4', most restrictive applies.</li> </ul>
Security Lights	<ul style="list-style-type: none"> <li>• Not permitted.</li> </ul>	NA
Outdoor Storage	<ul style="list-style-type: none"> <li>• Not permitted.</li> </ul>	NA
Outdoor Furniture	<ul style="list-style-type: none"> <li>• Permitted.</li> </ul>	Appropriately scaled.
Balcony Drapes & Curtains	<ul style="list-style-type: none"> <li>• Permitted on a case-by-case basis.</li> </ul>	See Guidelines for additional information.

**Notes:**

- A. No Improvements of any kind may be attached to the adjoining Dwelling.
- B. Appropriate scale furniture and barbecues are acceptable.
- C. Asterisk (\*) indicates features permitted for Attached Condominium Homes with “Exclusive Use Areas”.

**EXHIBIT G-2  
DETACHED CONDOMINIUM HOMES “IMPROVEMENT SUMMARY REQUIREMENT TABLE”**

IMPROVEMENT	SETBACK / NOTES	HEIGHT
Existing Grading	<ul style="list-style-type: none"> <li>No change in grade is permitted.</li> </ul>	NA
Drainage	<ul style="list-style-type: none"> <li>Original drainage pattern must be maintained.</li> <li>Not permitted to drain onto Association Property or adjoining Lots.</li> <li>Hardscape surfaces positive surface drainage 1% min.</li> <li>Landscape areas positive surface drainage 2% min.</li> <li>Required to drain into area drains/catch basins &amp; tie into Builder-installed drain lines.</li> </ul>	
Raised Planter (Retaining Walls)	<ul style="list-style-type: none"> <li>2' minimum from perimeter walls.</li> <li>Subject to DRC review.</li> <li>Retaining/flash wall required.</li> </ul>	<ul style="list-style-type: none"> <li>2' maximum from original pad grade.</li> </ul>
On-Site Freestanding Walls	<ul style="list-style-type: none"> <li>3' minimum from perimeter walls.</li> <li>Living Walls – 12' min. from perimeter wall.</li> </ul>	<ul style="list-style-type: none"> <li>5'-0" from original pad grade.</li> <li>Shall not exceed height of perimeter wall.</li> </ul>
Flatwork / Paving Materials	<ul style="list-style-type: none"> <li>Not permitted to Association Maintained/Merchant Builder-installed entry walks, steps, landing or drive apron.</li> <li>For private use/patio areas, paving materials must be compatible with the architecture.</li> <li>Private yards that are 10' or greater in depth - Paving material min. setback of 2' from existing rear and side yard perimeter walls to accommodate planting.</li> <li>No paving material setback at minimum side yards between units with air condenser is required.</li> <li>Flatwork may not cover weep screed of Dwelling.</li> <li>Wood decks are permitted.</li> </ul>	<ul style="list-style-type: none"> <li>6" maximum above original pad grade.</li> <li>Wood Decks: 8" max. above original grade.</li> </ul>
Fences / Gates	<ul style="list-style-type: none"> <li>Not permitted.</li> </ul>	NA
Pools / Spas (in ground)	<ul style="list-style-type: none"> <li>3' setback from perimeter wall.</li> </ul>	NA
Pools / Spas (above ground)	<ul style="list-style-type: none"> <li>3' setback from perimeter wall.</li> <li>Vertical landscape screening required.</li> </ul>	<ul style="list-style-type: none"> <li>3' from original pad grade.</li> </ul>
Pools / Spas Equipment	<ul style="list-style-type: none"> <li>2' setback from perimeter wall per City of Irvine code requirements.</li> <li>Must be screened from Association Property view with landscape planting.</li> </ul>	NA

**EXHIBIT G-2  
DETACHED CONDOMINIUM HOMES “IMPROVEMENT SUMMARY REQUIREMENT TABLE”**

IMPROVEMENT	SETBACK / NOTES	HEIGHT
Fireplaces / Fire Pits	<ul style="list-style-type: none"> <li>• 2’ setback from perimeter wall.</li> <li>• Wood burning not permitted.</li> <li>• Adjacent to patio structure 10’-0” min. setback from perimeter walls.</li> </ul>	<ul style="list-style-type: none"> <li>• 8’ maximum above original pad grade.</li> <li>• Attached to patio structure max. height 14’.</li> </ul>
Barbecues (Fixed / Permanent) & Outdoor Kitchens	<ul style="list-style-type: none"> <li>• Fixed / permanent barbecues are permitted &amp; setback 2’ behind solid perimeter walls only.</li> <li>• Vertical landscape screening required.</li> </ul>	<ul style="list-style-type: none"> <li>• May not exceed height of existing adjoining or adjacent perimeter Builder-installed patio walls.</li> </ul>
Play Equipment	<ul style="list-style-type: none"> <li>• Playground Equipment is permitted in private yard areas.</li> <li>• Basketball backboards not permitted.</li> <li>• Not permitted in front yard.</li> </ul>	<ul style="list-style-type: none"> <li>• Playground Equipment may not exceed the height of existing adjoining or adjacent perimeter Builder-provided patio walls.</li> </ul>
Patio Structures	<ul style="list-style-type: none"> <li>• 5’ from perimeter walls or adjoining Dwellings to the face of the post.</li> <li>• Only permitted where the depth of the yard is 20’ or greater from the perimeter wall to the Dwelling</li> </ul>	<ul style="list-style-type: none"> <li>• 11’ maximum. (flat-open beam)</li> <li>• 12’ maximum ((pitched roofed)</li> </ul>
Freestanding Vine Trellis’s / Arbors	<ul style="list-style-type: none"> <li>• 1’ planting area between the overhang and perimeter walls.</li> </ul>	<ul style="list-style-type: none"> <li>• 8’ maximum height above original pad grade.</li> </ul>
Espaliers	<ul style="list-style-type: none"> <li>• Permitted with non-penetrating attachment devices to wall face.</li> </ul>	<ul style="list-style-type: none"> <li>• May not exceed height of perimeter Builder-provided patio walls.</li> </ul>
Garden Art / Statuary	<ul style="list-style-type: none"> <li>• Reviewed on a case-by-case basis only.</li> <li>• Shall not be visible from Association Property.</li> </ul>	<ul style="list-style-type: none"> <li>• May not exceed height of perimeter builder installed patio walls or 5’ (whichever is the most restrictive).</li> </ul>
Water Features	<ul style="list-style-type: none"> <li>• 1’ clear of adjoining property.</li> <li>• Waterfalls not permitted.</li> </ul>	<ul style="list-style-type: none"> <li>• 4’ maximum above original pad grade.</li> </ul>
One story room additions, California Rooms, Conservatories, Sunrooms	<ul style="list-style-type: none"> <li>• 10’ setback from the rear perimeter wall</li> <li>• 5’ setback from the side perimeter wall.</li> <li>• Not permitted in all other Neighborhoods unless permitted by the Sub-Association.</li> <li>• 15’ from local street.</li> </ul>	<ul style="list-style-type: none"> <li>• 12’ maximum.</li> </ul>

**EXHIBIT G-2  
DETACHED CONDOMINIUM HOMES “IMPROVEMENT SUMMARY REQUIREMENT TABLE”**

IMPROVEMENT	SETBACK / NOTES	HEIGHT
Second Story Balconies	<ul style="list-style-type: none"> <li>• 13’ setback from the rear perimeter wall</li> <li>• 5’ setback from the side perimeter wall.</li> <li>• External stairways not permitted.</li> <li>• Must be screened with 24” box trees.</li> </ul>	NA
Security Lights	<ul style="list-style-type: none"> <li>• Not permitted.</li> </ul>	NA
Outdoor Storage	<ul style="list-style-type: none"> <li>• Not permitted where visible from Association Property.</li> </ul>	NA

**Notes:**

- A. No Improvements of any kind may be attached to the adjoining Dwelling or perimeter wall.
- B. No obstruction to openings in perimeter walls (scuppers at the base of the privacy wall) that are intended for secondary overflow drainage purposes is permitted. Owners must maintain these openings (scuppers) free of obstructions.

**EXHIBIT G-3**  
**SINGLE FAMILY DETACHED HOMES “IMPROVEMENT SUMMARY REQUIREMENT TABLE”**

IMPROVEMENT	SETBACK / NOTES	HEIGHT
Existing Grading	<ul style="list-style-type: none"> <li>Grade adjacent to perimeter walls must remain at existing grade of 3’ clear of wall.</li> <li>See planter wall exception.</li> </ul>	<ul style="list-style-type: none"> <li>May not be lowered or raised in excess of 12” above original pad grade.</li> <li>See planter wall exception.</li> </ul>
Drainage	<ul style="list-style-type: none"> <li>Original drainage pattern must be maintained.</li> <li>Not permitted to drain onto Association Property or adjoining Lots.</li> <li>Hardscape surfaces positive surface drainage 1% min.</li> <li>Landscape areas positive surface drainage 2% min.</li> <li>Required to drain into area drains/catch basins &amp; tie into Builder-installed drain lines.</li> </ul>	
Raised Planter / Retaining Walls	<ul style="list-style-type: none"> <li>3’ minimum from perimeter walls.</li> <li>Retaining walls subject to DRC approval.</li> <li>Retaining/flash wall required.</li> </ul>	<ul style="list-style-type: none"> <li>3’ from original pad grade.</li> </ul>
On-Site Freestanding Walls	<ul style="list-style-type: none"> <li>Front Yard – 3’ min. setback from back of walk and 3’ from side property line.</li> <li>Pilasters must be 22” square.</li> <li>Estates Walls: 10’ setback from the back of sidewalk.</li> </ul>	<ul style="list-style-type: none"> <li>Front Yard – 24” max. height for walls and 30” max. height for pilasters.</li> <li>Pilasters: 6’ maximum.</li> <li>Walls: 5’-6” maximum.</li> </ul>
Flatwork / Paving Materials	<ul style="list-style-type: none"> <li>Paving materials must be compatible with the architecture.</li> <li>Paving material min. setback of 24” from existing property line walls where the depth of the yard is 10’ or greater to accommodate planting.</li> <li>No paving material setback at in yards where the depth is less than 10’ is required.</li> <li>Flatwork may not cover weep screed of Dwelling.</li> <li>Refer to the Guidelines for front yard paving requirements.</li> <li>Wood decks are permitted.</li> </ul>	<ul style="list-style-type: none"> <li>12” maximum above original pad grade.</li> <li>Wood Decks: 8” maximum above original grade.</li> </ul>
Fences / Gates	<ul style="list-style-type: none"> <li>Changes to privacy gates are not permitted.</li> </ul>	NA
Pools / Spas (in ground)	<ul style="list-style-type: none"> <li>3’ setback from property line.</li> </ul>	NA
Pools / Spas (above ground)	<ul style="list-style-type: none"> <li>3’ setback from property line.</li> <li>Vertical landscape screening required.</li> </ul>	<ul style="list-style-type: none"> <li>3’ from original pad grade.</li> </ul>
Pools / Spas Equipment	<ul style="list-style-type: none"> <li>24” setback per City of Irvine code requirements.</li> </ul>	NA
Rock Formations (Pools/Spas)	<ul style="list-style-type: none"> <li>5’ setback.</li> </ul>	<ul style="list-style-type: none"> <li>May not exceed height of existing adjoining or adjacent perimeter Builder-installed patio walls.</li> </ul>

**EXHIBIT G-3**  
**SINGLE FAMILY DETACHED HOMES “IMPROVEMENT SUMMARY REQUIREMENT TABLE”**

IMPROVEMENT	SETBACK / NOTES	HEIGHT
Fireplaces	<ul style="list-style-type: none"> <li>• 3' setback.</li> <li>• 10' min. setback for fireplaces in excess of 8'-0" in height &amp; adjacent to covered patio.</li> <li>• Wood burning not permitted.</li> <li>• Not permitted in front yard.</li> </ul>	<ul style="list-style-type: none"> <li>• 8' max. height above original pad grade.</li> <li>• 14' when attached to a pitched roofed patio cover</li> </ul>
Outdoor Kitchens	<ul style="list-style-type: none"> <li>• 3' setback behind perimeter walls only.</li> <li>• Not permitted in front yard.</li> </ul>	<ul style="list-style-type: none"> <li>• May not exceed height of existing adjoining or adjacent perimeter Builder-installed patio walls.</li> </ul>
Barbecues (Fixed / Permanent)	<ul style="list-style-type: none"> <li>• Fixed / permanent barbecues are permitted &amp; setback 24" behind solid perimeter walls only.</li> <li>• Not permitted in front yard.</li> </ul>	<ul style="list-style-type: none"> <li>• May not exceed height of existing adjoining or adjacent perimeter Builder-installed patio walls.</li> </ul>
Play Equipment	<ul style="list-style-type: none"> <li>• Play Equipment is permitted.</li> <li>• Not permitted in front yard except as provided in Section IV, paragraph B (2) (k) (2) of Guidelines.</li> <li>• Basketball backboards must be clear when attached to Dwelling.</li> </ul>	<ul style="list-style-type: none"> <li>• Playground Equipment may not exceed a height of 10' above original pad grade.</li> </ul>
Patio Shade Structures	<ul style="list-style-type: none"> <li>• 5' setback from the property line to the face of the post.</li> <li>• Not permitted in front yard.</li> </ul>	<ul style="list-style-type: none"> <li>• 11' max. height from original pad grade for flat-roof / open beam.</li> <li>• 12' max. height for pitched roof.</li> </ul>
Portable Cabanas	<ul style="list-style-type: none"> <li>• Maintain min. setbacks required of permanent free-standing shade structures.</li> <li>• Must be neutral in color and compatible with the color of the Dwelling.</li> <li>• Maximum allowable area of free standing shade structure is 80 SF.</li> </ul>	<ul style="list-style-type: none"> <li>• Canopy/top must not exceed 9'.</li> </ul>
Freestanding Vine Trellises	<ul style="list-style-type: none"> <li>• 12" from perimeter wall for planting, measured from outermost member.</li> </ul>	<ul style="list-style-type: none"> <li>• 8' max. height above original pad grade.</li> </ul>
Espaliers	<ul style="list-style-type: none"> <li>• Permitted with non-penetrating attachment devices to wall face.</li> </ul>	<ul style="list-style-type: none"> <li>• May not exceed height of perimeter Builder-installed patio walls.</li> </ul>
Fountains/ Water Features & Garden Art / Statuary	<ul style="list-style-type: none"> <li>• 24" from property line wall for Fountains/Water Features, 12" from property line wall for Garden Art &amp; Statuary.</li> <li>• Reviewed on a case-by-case basis only.</li> <li>• Statuary shall not be visible from Association Property.</li> </ul>	<ul style="list-style-type: none"> <li>• May not exceed height of perimeter Builder-installed patio walls or 5' (whichever is the most restrictive).</li> </ul>



**EXHIBIT G-3**  
**SINGLE FAMILY DETACHED HOMES “IMPROVEMENT SUMMARY REQUIREMENT TABLE”**

IMPROVEMENT	SETBACK / NOTES	HEIGHT
Security Lights	<ul style="list-style-type: none"> <li>• Strongly discouraged (20 minute motion sensor).</li> </ul>	<ul style="list-style-type: none"> <li>• 10' above original pad grade.</li> </ul>
Outdoor Storage	<ul style="list-style-type: none"> <li>• Not permitted where visible from Association Property.</li> </ul>	NA

**Notes:**

- A. No Improvements of any kind may be attached to the property line wall.
- B. No obstruction to openings in property line walls (scuppers at the base of the privacy wall) that are intended for secondary overflow drainage purposes is permitted. Owners must maintain these openings (scuppers) free of obstructions.

**EXHIBIT H**  
**ATTACHED CONDOMINIUM HOME SAMPLE LANDSCAPE PLAN SUBMITTAL DOCUMENT**

**Planning Area 6 - Portola Springs Attached Condominium**

Irvine, CA  
 Sample Landscape Plan Submittal Document

**GENERAL NOTES:**

1. ADDITIONAL AREA DRAINS SHALL BE PROVIDED AT ALL ROOF DRAIN DOWN SPOUT LOCATIONS.
2. OWNER SHALL APPROVE LOCATION OF IRRIGATION CONTROLLER AND VALVES.
3. OWNER SHALL APPROVE LIGHTING FIXTURES AND LOCATION OF LIGHTING TIMER.
4. OWNER SHALL APPROVE PAVING FINISH AND COLOR.
5. CONTRACTOR SHALL REVIEW ALL EXISTING SITE CONDITIONS PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING INSTALLATION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER.
6. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOR ALL DAMAGES INCURRED.
7. ALL EXISTING ASSOCIATION PROPERTY LANDSCAPE SHALL BE PROTECTED IN PLACE DURING ALL PHASES OF CONSTRUCTION.
8. ALL IMPROVEMENTS SHALL COMPLY WITH THE PORTOLA SPRINGS COMMUNITY ASSOCIATION DESIGN GUIDELINES. VERIFY ALL VERTICAL AND HORIZONTAL SETBACKS FOR ANY IMPROVEMENTS PROPOSED.

**FINISH GRADING AND DRAINAGE NOTE:**

1. ALL PLANTING AREAS SHALL HAVE A POSITIVE SURFACE DRAINAGE OF 2% MINIMUM.
2. ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM BUILDING WALLS, TOP OF SLOPES AND ADJOINING PROPERTY LINES.
3. ALL PAVED SURFACES SHALL HAVE A POSITIVE SURFACE DRAINAGE AT 1% MINIMUM.
4. ALL YARD AREAS SHALL SURFACE DRAIN TO AREA DRAINS, WHICH MUST, IN TURN, TIE INTO THE BUILDER-INSTALLED DRAIN SYSTEM.
5. NO DRAINAGE WILL BE DIRECTED TO ASSOCIATION PROPERTY OR ADJOINING PRIVATE PROPERTY.

**IRRIGATION NOTE:**

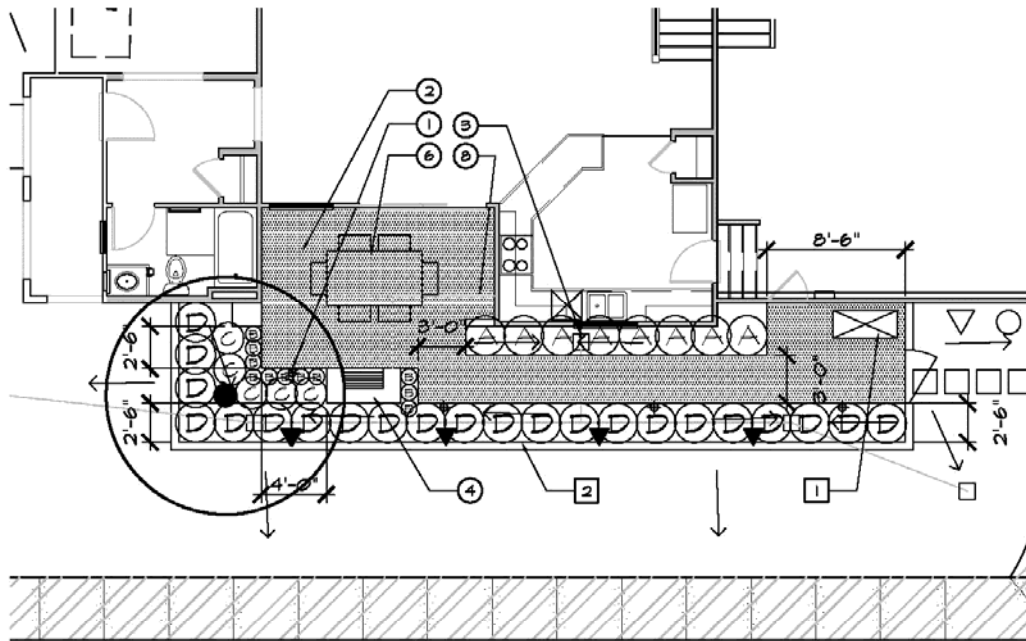
THE PROJECT LANDSCAPE PLANTING AREAS SHALL RECEIVE THE FOLLOWING IRRIGATION SYSTEM. LOW PRECIPITATION FLAT SHRUB SPRAY SYSTEM AUTOMATICALLY PROGRAMMED WITH AN ELECTRICAL CONTROLLER. SYSTEM COMPONENTS WILL INCLUDE A GATE VALVE AT THE POINT OF CONNECTION, BACK FLOW DEVICE, ELECTRICALLY OPERATED REMOTE CONTROL VALVES, AND FLAT SPRAY IRRIGATION NOZZLES ON 12" POP-UP BODIES IN SHRUB BEDS SUPPLIED BY PVC SCHEDULE 40 MAINLINE AND LATERAL LINES SIZED ACCORDING TO HYDRAULIC CALCULATIONS. CIRCUITS SHALL BE DETERMINED BY SOLAR ORIENTATION AND PLANTING AREA. 100% HEAD TO HEAD COVERAGE SHALL BE ACHIEVED THROUGHOUT THE SYSTEM.

**PLANTING NOTES:**

1. ALL LANDSCAPE AREAS SHALL SHEET FLOW AT 2% MINIMUM TO AREA DRAINS.
2. FINAL TREE AND SHRUB PLACEMENT TO BE APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO PLANTING.
3. (←) TYP. FLOWLINE/DIRECTION OF DRAINAGE AT 2% MINIMUM.
4. ALL SHRUB PLANTING AREAS TO BE MULCHED WITH TWO (2") INCH LAYER OF MULCH. FOREST FLOOR MULCH 1/2" - 1 1/2" APPEARANCE GRADE. AGUINAGUA FERTILIZER CO. PHONE: (949)786-9558. APPROVE MULCH WITH OWNER PRIOR TO PURCHASE.
5. [ ] INDICATES LINEAR ROOT BARRIER.

**LIGHTING NOTE:**

NO EXTERIOR LIGHTING SHALL BE PLACED OR MAINTAINED UPON ANY LOT OR CONDOMINIUM SO AS TO CAUSE AN UNREASONABLE GLARE OR ILLUMINATION UPON PROPERTY OUTSIDE THE OWNERS LOT OR CONDOMINIUM.



SCALE: 1/8" = 1' - 0"

**LANDSCAPE CONSTRUCTION FEATURE REFERENCE LEGEND**

SYMBOL	NO.	DESCRIPTION
⊕	1	LOW VOLTAGE PATH LIGHTING (PHILIPS HADCO MODEL #CPLZ1)
[Hatched Box]	2	CONCRETE INTERLOCKING PAVER PATIO ORCO HOLLAND STONE SOLDIER COURSE BAND WITH HERRINGBONE FIELD
[Box with Arrow]	3	LANDSCAPE AREA DRAINS
[Box with Grill]	4	BUILT-IN BARBEQUE
[Line]	5	GAS LINE - SHOWN DIAGRAMMATIC
[Box with Table]	6	DINING TABLE AND CHAIRS

**FEATURE REFERENCE LEGEND**

SYMBOL	NO.	DESCRIPTION
[Box with X]	1	A.C. UNIT LOCATION
[Line]	2	EXISTING PRIVACY WALL - PROTECT IN PLACE

**TREE LEGEND (FROM SMALL REAR YARD TREE LIST)**

SYMBOL	PLANT NAME	QTY.	SIZE
⊙	ACCENT TREE ARBUTUS MARINA NCH	1	24" BOX

**SHRUB PLANTING LEGEND**

SYMBOL	PLANT NAME	QTY.	SIZE
⊕	VERTICAL SCREEN SHRUB ROSAMARINUS 'COLLINGWOOD INGRAM' COLLINGWOOD INGRAM ROSEMARY	10	15 GAL.
⊕	BORDER SHRUB SENECIO MANDRALISCAE NCH	11	1 GAL.
⊕	MEDIUM SHRUB AYGOZANTHOS HYBRID 'YELLOW' BEGAROD RHM	5	5 GAL.
⊕	BACKDROP SHRUB LIGUSTRUM JAPONICUM 'TEXANUM' WAX LEAF PRIVET	22	15 GAL. COLUMNAR

**VINE PLANTING LEGEND**

SYMBOL	PLANT NAME	QTY.	SIZE
▲	WALL VINE / ESPALIER SOLANUM JASMINOIDES POTATO VINE	4	5 GAL. ESPALIER

NOTE: This exhibit is intended to illustrate graphic and information requirements only.

## EXHIBIT I DETACHED CONDOMINIUM HOME SAMPLE LANDSCAPE PLAN SUBMITTAL DOCUMENT

### Planning Area 6 - Portola Springs Detached Condominium

Irvine, CA  
Sample Landscape Plan Submittal Document

**GENERAL NOTES:**

1. ADDITIONAL AREA DRAINS SHALL BE PROVIDED AT ALL ROOF DRAIN DOWN SPOUT LOCATIONS.
2. OWNER SHALL APPROVE LOCATION OF IRRIGATION CONTROLLER AND VALVES.
3. OWNER SHALL APPROVE LIGHTING FIXTURES AND LOCATION OF LIGHTING TOWER.
4. OWNER SHALL APPROVE PAVING FINISH AND COLOR.
5. CONTRACTOR SHALL REVIEW ALL EXISTING SITE CONDITIONS PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING INSTALLATION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER.
6. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOR ALL DAMAGES INCURRED.
7. ALL EXISTING ASSOCIATION PROPERTY LANDSCAPE SHALL BE PROTECTED IN PLACE DURING ALL PHASES OF CONSTRUCTION.
8. ALL IMPROVEMENTS SHALL COMPLY WITH THE PORTOLA SPRINGS COMMUNITY ASSOCIATION DESIGN GUIDELINES. VERIFY ALL VERTICAL AND HORIZONTAL SETBACKS FOR ANY IMPROVEMENTS PROPOSED

**FINISH GRADING AND DRAINAGE NOTE:**

1. ALL PLANTING AREAS SHALL HAVE A POSITIVE SURFACE DRAINAGE OF 2% MINIMUM.
2. ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM BUILDING WALLS, TOP OF SLOPES AND ADJOINING PROPERTY LINES.
3. ALL PAVED SURFACES SHALL HAVE A POSITIVE SURFACE DRAINAGE AT 1% MINIMUM.
4. ALL YARD AREAS SHALL SURFACE DRAIN TO AREA DRAINS, WHICH MUST, IN TURN, TIE INTO THE BUILDER-INSTALLED DRAIN SYSTEM.
5. NO DRAINAGE WILL BE DIRECTED TO ASSOCIATION PROPERTY OR ADJOINING PRIVATE PROPERTY.

**IRRIGATION NOTE:**

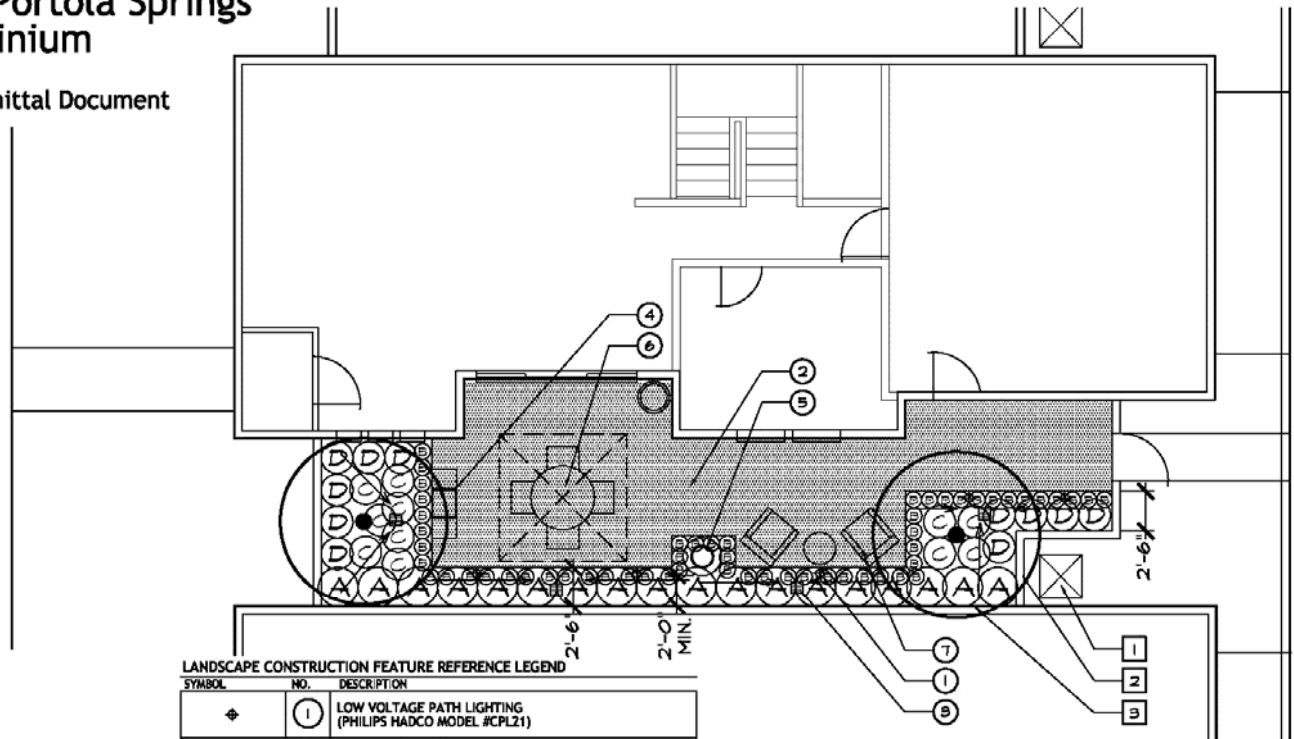
THE PROJECT LANDSCAPE PLANTING AREAS SHALL RECEIVE THE FOLLOWING IRRIGATION SYSTEM. LOW PRECIPITATION FLAT SHRUB SPRAY SYSTEM AUTOMATICALLY PROGRAMMED WITH AN ELECTRICAL CONTROLLER. SYSTEM COMPONENTS WILL INCLUDE A GATE VALVE AT THE POINT OF CONNECTION, BACK FLOW DEVICE, ELECTRICALLY OPERATED REMOTE CONTROL VALVES, AND FLAT SPRAY IRRIGATION NOZZLES ON 12" POP-UP BODIES IN SHRUB BEDS SUPPLIED BY PVC SCHEDULE 40 MAINLINE AND LATERAL LINES SIZED ACCORDING TO HYDRAULIC CALCULATIONS. CIRCUITS SHALL BE DETERMINED BY SOLAR ORIENTATION AND PLANTING AREA. 100% HEAD TO HEAD COVERAGE SHALL BE ACHIEVED THROUGHOUT THE SYSTEM.

**PLANTING NOTES:**

1. ALL LANDSCAPE AREAS SHALL SHEET FLOW AT 2% MINIMUM TO AREA DRAINS.
2. FINAL TREE AND SHRUB PLACEMENT TO BE APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO PLANTING.
3. (←) TYP. FLOWLINE/DIRECTION OF DRAINAGE AT 2% MINIMUM.
4. ALL SHRUB PLANTING AREAS TO BE MULCHED WITH TWO (2") INCH LAYER OF MULCH. FOREST FLOOR MULCH 1/2"-1 1/2" APPEARANCE GRADE. AGUINAGUA FERTILIZER CO. PHONE: (949)786-9558 APPROVE MULCH WITH OWNER PRIOR TO PURCHASE.
5. (⊠) INDICATES LINEAR ROOT BARRIER.

**LIGHTING NOTE:**

NO EXTERIOR LIGHTING SHALL BE PLACED OR MAINTAINED UPON ANY LOT OR CONDOMINIUM SO AS TO CAUSE AN UNREASONABLE GLARE OR ILLUMINATION UPON PROPERTY OUTSIDE THE OWNERS LOT OR CONDOMINIUM.



**LANDSCAPE CONSTRUCTION FEATURE REFERENCE LEGEND**

SYMBOL	NO.	DESCRIPTION
⊕	1	LOW VOLTAGE PATH LIGHTING (PHILIPS HADCO MODEL #CPL21)
▨	2	CONCRETE INTERLOCKING PAVER PATIO ORCO HOLLAND STONE SOLDIER COURSE BAND WITH HERRINGBONE FIELD
⊠	3	LANDSCAPE AREA DRAINS
⊞	4	PORTABLE PROPANE BARBEQUE
⊙	5	SELF CONTAINED FOUNTAIN VASE
⊠	6	DINING FURNITURE WITH UMBRELLA
⊞	7	SOFT SEATING GROUP

**FEATURE REFERENCE LEGEND**

SYMBOL	NO.	DESCRIPTION
⊠	1	A.C. UNIT LOCATION
▬	2	EXISTING PRIVACY WALL - PROTECT IN PLACE
▬	3	ADJACENT RESIDENCE

**TREE LEGEND (FROM SMALL REAR YARD TREE LIST)**

SYMBOL	PLANT NAME	QTY.	SIZE
⊙	ACCENT TREE ARBUTUS 'MARINA' NEW	2	24" BOX

**SHRUB PLANTING LEGEND**

SYMBOL	PLANT NAME	QTY.	SIZE
⊠	VERTICAL SCREEN SHRUB PRUNUS CAROLINIANA 'BRIGHT N TIGHT' CARDUNA LAUREL CHERRY	18	15 GAL COLUMNAR
⊞	BORDER SHRUB LIRIOPE GIGANTEA GIANT LILY TURF	56	1 GAL
⊙	MEDIUM SHRUB RHAPHIOLEPIS INDICA 'CLARA' INDIA WATTFLOER	11	5 GAL
⊞	BACKDROP SHRUB LIGUSTRUM JAPONICUM 'TEXANUM' WAX LEAF PRIVET	11	15 GAL COLUMNAR

NOTE: This exhibit is intended to illustrate graphic and information requirements only.

**EXHIBIT J**  
**SINGLE FAMILY DETACHED HOME SAMPLE LANDSCAPE PLAN SUBMITTAL DOCUMENT**

**Planning Area 6 - Portola Springs**  
**Single Family Detached**  
 Irvine, CA  
 Sample Landscape Plan Submittal Document

**GENERAL NOTES:**

- ADDITIONAL AREA DRAINS SHALL BE PROVIDED AT ALL ROOF DRAIN DOWN SPOUT LOCATIONS.
- OWNER SHALL APPROVE LOCATION OF IRRIGATION CONTROLLER AND VALVES.
- OWNER SHALL APPROVE LIGHTING FIXTURES AND LOCATION OF LIGHTING TIMER.
- OWNER SHALL APPROVE PAVING FINISH AND COLOR.
- CONTRACTOR SHALL REVIEW ALL EXISTING SITE CONDITIONS PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING INSTALLATION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOR ALL DAMAGES INCURRED.
- ALL EXISTING ASSOCIATION PROPERTY LANDSCAPE SHALL BE PROTECTED IN PLACE DURING ALL PHASES OF CONSTRUCTION.
- ALL IMPROVEMENTS SHALL COMPLY WITH THE PORTOLA SPRINGS COMMUNITY ASSOCIATION DESIGN GUIDELINES. VERIFY ALL VERTICAL AND HORIZONTAL SETBACKS FOR ANY IMPROVEMENTS PROPOSED.

**FINISH GRADING AND DRAINAGE NOTE:**

- ALL PLANTING AREAS SHALL HAVE A POSITIVE SURFACE DRAINAGE OF 2% MINIMUM.
- ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM BUILDING WALLS, TOP OF SLOPES AND ADJOINING PROPERTY LINES.
- ALL PAVED SURFACES SHALL HAVE A POSITIVE SURFACE DRAINAGE AT 1% MINIMUM.
- ALL YARD AREAS SHALL SURFACE DRAIN TO AREA DRAINS, WHICH MUST, IN TURN, TIE INTO THE BUILDER-INSTALLED DRAIN SYSTEM.
- NO DRAINAGE WILL BE DIRECTED TO ASSOCIATION PROPERTY OR ADJOINING PRIVATE PROPERTY.

**IRRIGATION NOTE:**

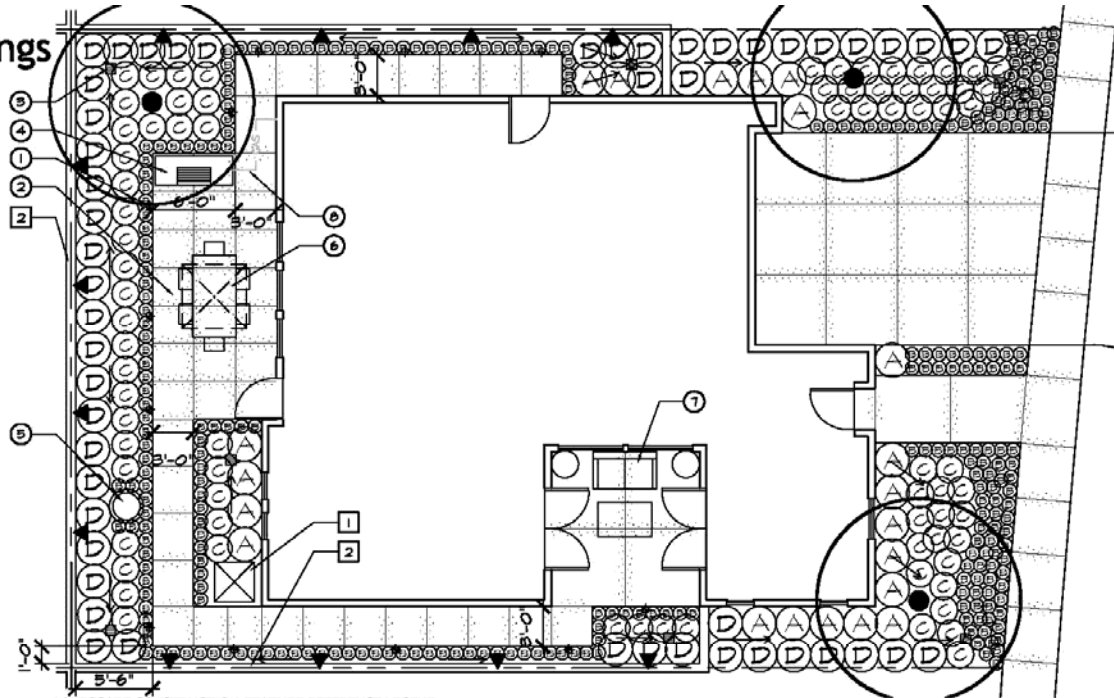
THE PROJECT LANDSCAPE PLANTING AREAS SHALL RECEIVE THE FOLLOWING IRRIGATION SYSTEM. LOW PRECIPITATION FLAT SHRUB SPRAY SYSTEM AUTOMATICALLY PROGRAMMED WITH AN ELECTRICAL CONTROLLER. SYSTEM COMPONENTS WILL INCLUDE A GATE VALVE AT THE POINT OF CONNECTION, BACK FLOW DEVICE, ELECTRICALLY OPERATED REMOTE CONTROL VALVES, AND FLAT SPRAY IRRIGATION NOZZELS ON 12" POP-UP BODIES IN SHRUB BEDS SUPPLIED BY PVC SCHEDULE 40 MAINLINE AND LATERAL LINES SIZED ACCORDING TO HYDRAULIC CALCULATIONS. CIRCUITS SHALL BE DETERMINED BY SOLAR ORIENTATION AND PLANTING AREA. 100% HEAD TO HEAD COVERAGE SHALL BE ACHIEVED THROUGHOUT THE SYSTEM.

**PLANTING NOTES:**

- ALL LANDSCAPE AREAS SHALL SHEET FLOW AT 2% MINIMUM TO AREA DRAINS.
- FINAL TREE AND SHRUB PLACEMENT TO BE APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- (←) TYP. FLOWLINE/DIRECTION OF DRAINAGE AT 2% MINIMUM.
- ALL SHRUB PLANTING AREAS TO BE MULCHED WITH TWO (2") INCH LAYER OF MULCH. FOREST FLOOR MULCH 1/2" - 1 1/2" APPEARANCE GRADE. AGUINAGUA FERTILIZER CO. PHONE: (949)786-9558 APPROVE MULCH WITH OWNER PRIOR TO PURCHASE.
- (⊞) INDICATES LINEAR ROOT BARRIER.

**LIGHTING NOTE:**

NO EXTERIOR LIGHTING SHALL BE PLACED OR MAINTAINED UPON ANY LOT OR CONDOMINIUM SO AS TO CAUSE AN UNREASONABLE GLARE OR ILLUMINATION UPON PROPERTY OUTSIDE THE OWNERS LOT OR CONDOMINIUM.



**LANDSCAPE CONSTRUCTION FEATURE REFERENCE LEGEND**

SYMBOL	NO.	DESCRIPTION
⊕	1	LOW VOLTAGE PATH LIGHTING (PHILIPS HADCO MODEL #CPL21)
▨	2	INTEGRAL COLOR CONCRETE PAVING (COLOR: SCOFIELD MESA BEIGE)
⊞ ←	3	LANDSCAPE AREA DRAINS
■	4	BUILT-IN BARBEQUE
⊙	5	SELF CONTAINED FOUNTAIN VASE
⊞	6	DINING FURNITURE WITH UMBRELLA
⊞	7	SOFT SEATING GROUP
— ⊞ —	8	GAS LINE - SHOWN DIAGRAMMATIC

**FEATURE REFERENCE LEGEND**

SYMBOL	NO.	DESCRIPTION
⊞	1	A.C. UNIT LOCATION
—	2	EXISTING PRIVACY WALL - PROTECT IN PLACE

**TREE LEGEND (FROM SMALL REAR YARD TREE LIST)**

SYMBOL	PLANT NAME	QTY.	SIZE
⊙	ACCENT TREE PODOCARPUS GRACILIOR NON	3	24" BOX

**SHRUB PLANTING LEGEND**

SYMBOL	PLANT NAME	QTY.	SIZE
⊞	VERTICAL SCREEN SHRUB VIBURNUM TINUS 'SPRING BOUQUET' LAURESTILIUS	22	15 GAL.
⊞	BORDER SHRUB TRACHELOSPERMUM JASMINOIDES STAR JASMINE	280	1 GAL.
⊞	MEDIUM SHRUB RHAPHIOLEPIS INDICA 'CLARA' INDIA HAWTHORN	75	5 GAL.
⊞	BACKDROP SHRUB LIGUSTRUM JAPONICUM 'TEXANUM' WAX LEAF PRIVET	49	15 GAL COLUMNAR

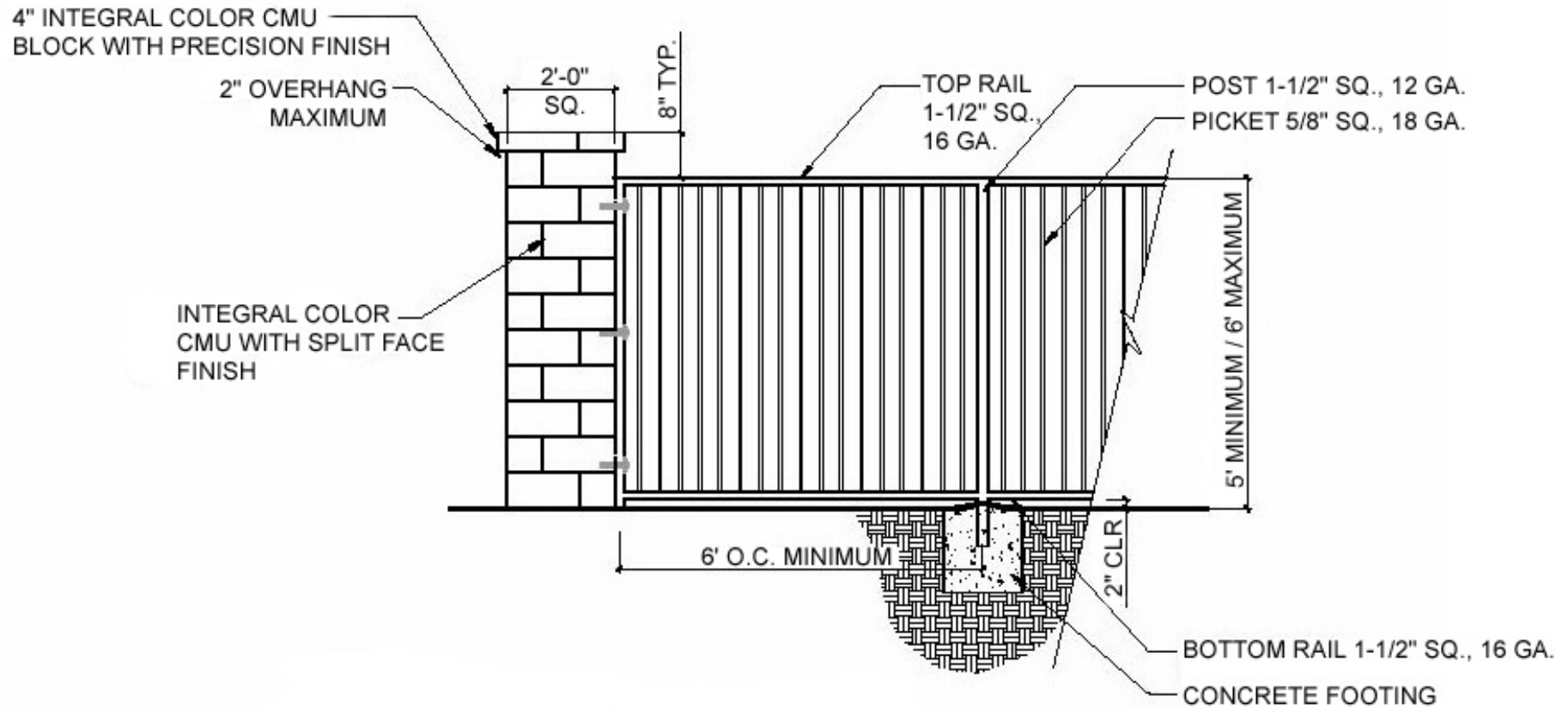
**VINE PLANTING LEGEND**

SYMBOL	PLANT NAME	QTY.	SIZE
▲	WALL VINE / ESPALIER SOLANUM JASMINOIDES POTATO VINE	12	5 GAL. ESPALIER

SCALE: 1/8" = 1' - 0"

NOTE: This exhibit is intended to illustrate graphic and information requirements only.

### EXHIBIT K COMMUNITY STANDARD FENCE DETAIL

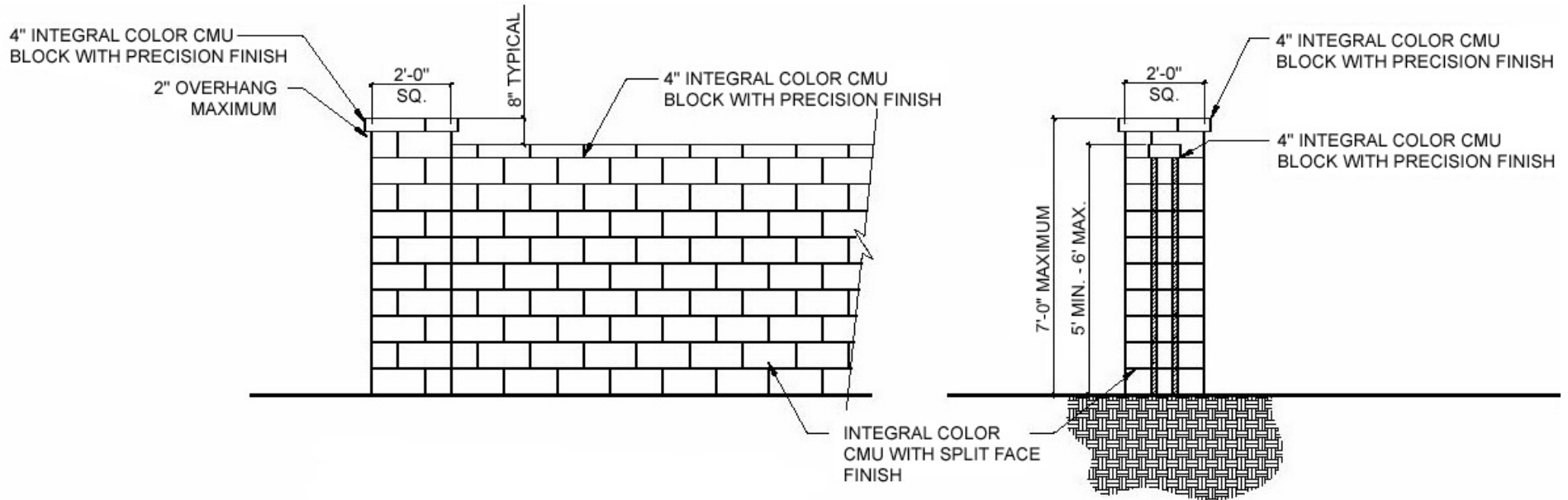


**NOTE:**

1. THIS FENCE VARIES IN HEIGHT DEPENDING ON LOCATION AND GRADE TRANSITIONS.
2. ALL FENCES WILL BE APPROVED UNDER A SEPARATE PERMIT.
3. FENCE HEIGHT SHALL BE IN CONFORMANCE WITH THE CITY ZONING CODE.
4. FENCE COLOR: VISTA PAINT, CARBON COPY, NO. 8293, AS MANUFACTURED BY AMERON PAINT CO., (877) 800-8283 OR ITS PROTECH EQUIVALENT NO. PS411M34.

## EXHIBIT L INTEGRAL COLOR CMU BLOCK COMMUNITY WALL DETAIL

Page 1 of 2



**NOTE:**

1. ALL WALLS WILL BE APPROVED UNDER A SEPARATE PERMIT.
2. WALL HEIGHT SHALL BE IN CONFORMANCE WITH THE CITY ZONING CODE.

## EXHIBIT L

### INTEGRAL COLOR CMU BLOCK COMMUNITY WALL DETAIL

Page 2 of 2

#### COMMUNITY INTEGRAL COLOR CMU-BLOCK WALL NOTES

The following is a description of the construction methods and materials used in the construction of the perimeter walls and pilasters for this Community. The essential aspects of the walls and caps are their finish dimensions, exterior colors and exterior finishes. This information is included for reference only.

#### BLOCK WALLS:

1. The builder-installed wall will be constructed of integral color CMU block provided by Angelus Block Co., Inc. or approved equal.
2. Joints to be tooled flush and to match adjacent block color.
3. Wall to step in minimum increments of 8-inches and a maximum of 16-inches. A 10-foot minimum horizontal distance (grade permitting) will occur between wall steps and wall steps at pilasters.
4. Wall expansion joints to occur at both sides of perimeter pilasters and at wall steps whenever possible. Joints to occur at 20-foot on-center intervals or as recommended by the structural engineer.
5. Community block walls and neighborhood block walls to be standard 6"x8"x16" integral CMU Split Face block (both sides) with Oak color by Angelus Block Co., Inc.

#### BLOCK WALL CAP:

1. Wall caps to be standard 8"x4"x16" integral CMU solid Precision block with "Oak" color by Angelus Block Co., Inc.
2. Joints to be tooled flush and to match adjacent block color.

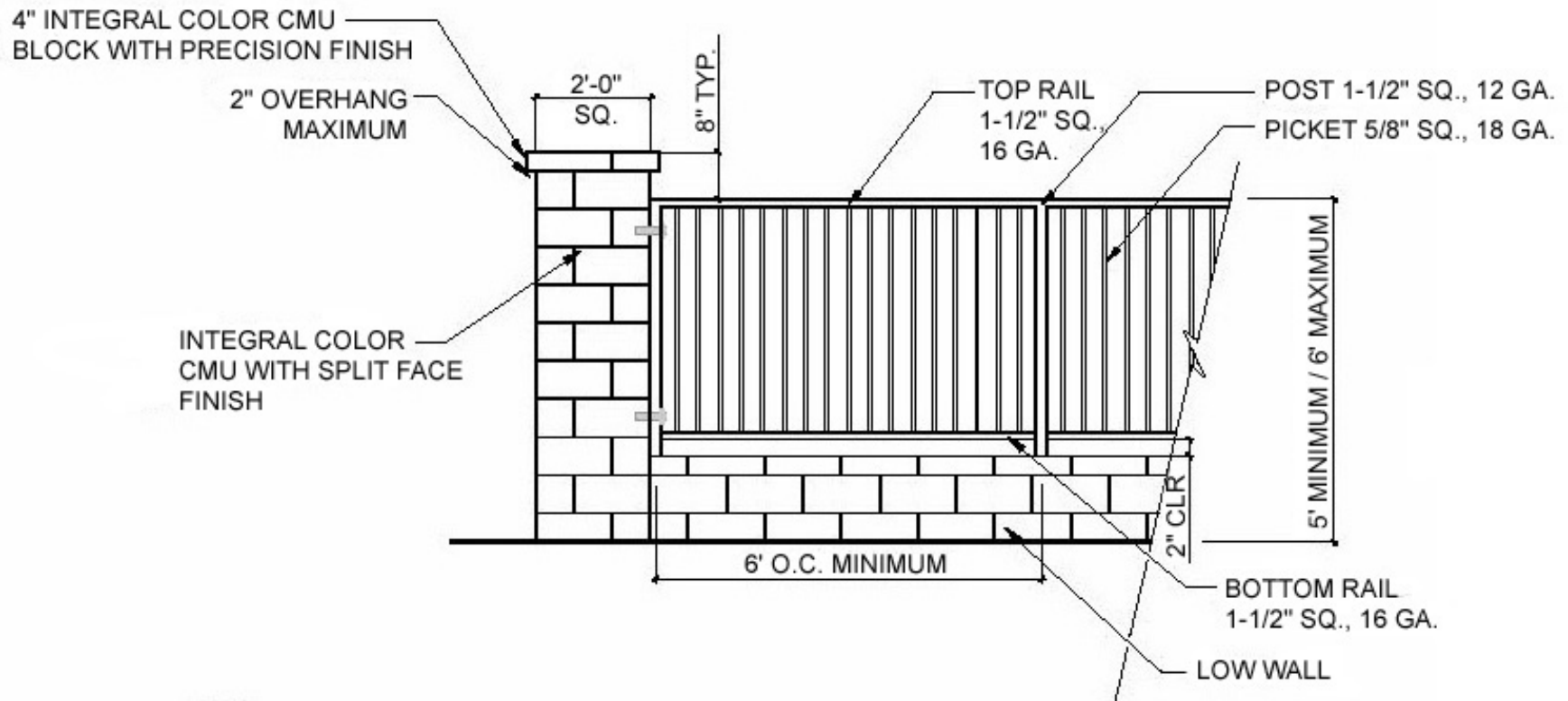
#### BLOCK PILASTERS:

1. Pilasters to be constructed of standard 8"x8"x16" integral CMU Split Face block with "Oak" color by Angelus Block Co., Inc.
2. Joints to be tooled flush and to match adjacent block color.
3. Pilasters to occur at changes in direction, at BCR's and ECR's of wall radii, wall terminus' where the wall will not continue in a future phase, at changes from block to metal fencing, pedestrian openings and at properties with metal fence conditions.

#### BLOCK PILASTER CAPS:

1. Pilaster caps to be standard 8"x4"x16" integral CMU solid Precision block with "Oak" color.
2. Joints to be tooled flush and to match adjacent block color.

**EXHIBIT M  
COMMUNITY STANDARD FENCE ON WALL DETAIL**



**NOTE:**

1. THIS FENCE VARIES IN HEIGHT DEPENDING ON LOCATION AND GRADE TRANSITIONS.
2. ALL FENCES WILL BE APPROVED UNDER A SEPARATE PERMIT.
3. FENCE HEIGHT SHALL BE IN CONFORMANCE WITH THE CITY ZONING CODE.
4. FENCE COLOR: VISTA PAINT, CARBON COPY, NO. 8293, AS MANUFACTURED BY AMERON PAINT CO., (877) 800-8283 OR ITS PROTECH EQUIVALENT NO. PS411M34.



**EXHIBIT N  
FRONT YARD PROPERTY LINE WALL EXTENSION APPLICATION**

**Property Address of Party Initiating this Improvement:** \_\_\_\_\_  
("Party A" – Property owner)

**Lot Number and Home Builder:** \_\_\_\_\_

**Property Address of Participating Neighbor:** \_\_\_\_\_  
("Party B" – Property owner)

**Lot Number and Home Builder:** \_\_\_\_\_

**PARTY WALL EXTENSION AGREEMENT**

Party A and Party B (henceforth referred to collectively as "The Parties") listed above hereby attest and agree to extend their front yard Party Wall per the plans submitted for DRC approval by Part A. The Parties acknowledge that this "Party Wall" (as defined by the Declaration) is a maintenance obligation shared among both Parties and any future Property Owner(s) of the Lots in question, in perpetuity. In signing below, both Parties agree to share in the associated maintenance costs of the extended Party Wall, and agree to hold Portola Springs Community Association harmless from negligence or issue that may arise as a result of this Party Wall extension.

**AGREED TO AND ACCEPTED:**

Party A: \_\_\_\_\_ Date: \_\_\_\_\_

Name (print): \_\_\_\_\_

Party B: \_\_\_\_\_ Date: \_\_\_\_\_

Name (print): \_\_\_\_\_

If "Party B" does not agree to enter into this agreement, "Party A", or the individual who wishes to extend the front yard wall, must submit plans to the DRC which would extend the front yard wall on the exclusive use area of his/her own property only (**not** on the property line).

**EXHIBIT O**  
**NEIGHBORHOOD LIST BY PRODUCT TYPE**

**ATTACHED CONDOMINIUM HOMES\***

San Carlos	Indigo
Paloma	The Vine
Ironwood	
Agave	

**DETACHED CONDOMINIUM HOMES\***

Bougainvillea	Legado
Decada	Silverleaf
Los Arboles	
Manzanita	
Vientos	
Sevilla	
Casero	
Primrose	
Sendero	
Colibri	
Luna	
Garden Hill**Submit to Portola Springs Master Association	
Sage**Submit to Portola Springs Master Association	

**SINGLE FAMILY DETACHED HOMES**

Las Colinas  
Prado  
Serra  
Las Ventanas  
Quinterra  
Cressa

*\*Submit directly to the sub-association for review*